

HISTORIC AND DESIGN REVIEW COMMISSION

August 03, 2022

HDRC CASE NO: 2022-293
ADDRESS: 1024 N CHERRY
LEGAL DESCRIPTION: NCB 512 BLK 25 LOT W 99.55 FT OF 3
ZONING: R-4, H
CITY COUNCIL DIST.: 2
DISTRICT: Dignowity Hill Historic District
APPLICANT: Joseph Munoz
OWNER: Joseph Munoz
TYPE OF WORK: Construction of a rear addition, exterior modifications, fenestration modifications, porch modifications, roof form modifications, window replacement and siding modifications
APPLICATION RECEIVED: July 27, 2022
60-DAY REVIEW: Not applicable due to City Council Emergency Orders
CASE MANAGER: Edward Hall

REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to:

1. Replace the existing, asphalt shingle roof with a new shingle roof.
2. Modify the existing, historic fenestration pattern of the historic structure by modifying existing door and window openings on the west, north and south facades. Window openings have been modified in size, removed, or introduced. Door openings have been eliminated and relocated.
3. Replace the existing, aluminum windows with new, aluminum windows featuring faux divided lites.
4. Modify the historic structure's roof form including modifications to eaves and attic vents.
5. Modify the historic structure's porch form, including modifications to the porch roof, columns, and deck height.
6. Remove the existing, non-original siding and install composite siding with a faux wood grain finish, and remove wood trim and install composite trim with faux wood grain.
7. Construct a rear addition to feature approximately 350 square feet and an open air rear porch.

APPLICABLE CITATIONS:

Historic Design Guidelines, Chapter 2, Guidelines for Exterior Maintenance and Alterations

1. Materials: Woodwork

B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

i. Façade materials—Avoid removing materials that are in good condition or that can be repaired in place. Consider exposing original wood siding if it is currently covered with vinyl or aluminum siding, stucco, or other materials that have not achieved historic significance.

ii. Materials—Use in-kind materials when possible or materials similar in size, scale, and character when exterior woodwork is beyond repair. Ensure replacement siding is installed to match the original pattern, including exposures. Do not introduce modern materials that can accelerate and hide deterioration of historic materials. Hardiboard and other cementitious materials are not recommended.

iii. Replacement elements—Replace wood elements in-kind as a replacement for existing wood siding, matching in profile, dimensions, material, and finish, when beyond repair.

3. Materials: Roofs

A. MAINTENANCE (PRESERVATION)

i. Regular maintenance and cleaning—Avoid the build-up of accumulated dirt and retained moisture. This can lead to the growth of moss and other vegetation, which can lead to roof damage. Check roof surface for breaks or holes and flashing for open seams and repair as needed.

B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

- i. Roof replacement*—Consider roof replacement when more than 25-30 percent of the roof area is damaged or 25-30 percent of the roof tiles (slate, clay tile, or cement) or shingles are missing or damaged.
- ii. Roof form*—Preserve the original shape, line, pitch, and overhang of historic roofs when replacement is necessary.
- iii. Roof features*—Preserve and repair distinctive roof features such as cornices, parapets, dormers, open eaves with exposed rafters and decorative or plain rafter tails, flared eaves or decorative purlins, and brackets with shaped ends.
- iv. Materials: sloped roofs*—Replace roofing materials in-kind whenever possible when the roof must be replaced. Retain and re-use historic materials when large-scale replacement of roof materials other than asphalt shingles is required (e.g., slate or clay tiles). Salvaged materials should be re-used on roof forms that are most visible from the public right-of-way. Match new roofing materials to the original materials in terms of their scale, color, texture, profile, and style, or select materials consistent with the building style, when in-kind replacement is not possible.
- v. Materials: flat roofs*—Allow use of contemporary roofing materials on flat or gently sloping roofs not visible from the public right-of-way.
- vi. Materials: metal roofs*—Use metal roofs on structures that historically had a metal roof or where a metal roof is appropriate for the style or construction period. Refer to Checklist for Metal Roofs on page 10 for desired metal roof specifications when considering a new metal roof. New metal roofs that adhere to these guidelines can be approved administratively as long as documentation can be provided that shows that the home has historically had a metal roof.
- vii. Roof vents*—Maintain existing historic roof vents. When deteriorated beyond repair, replace roof vents in-kind or with one similar in design and material to those historically used when in-kind replacement is not possible.

6. Architectural Features: Doors, Windows, and Screens

A. MAINTENANCE (PRESERVATION)

- i. Openings*—Preserve existing window and door openings. Avoid enlarging or diminishing to fit stock sizes or air conditioning units. Avoid filling in historic door or window openings. Avoid creating new primary entrances or window openings on the primary façade or where visible from the public right of-way.
- ii. Doors*—Preserve historic doors including hardware, fanlights, sidelights, pilasters, and entablatures.
- iii. Windows*—Preserve historic windows. When glass is broken, the color and clarity of replacement glass should match the original historic glass.

B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

- i. Doors*—Replace doors, hardware, fanlight, sidelights, pilasters, and entablatures in-kind when possible and when deteriorated beyond repair. When in-kind replacement is not feasible, ensure features match the size, material, and profile of the historic element.
- ii. New entrances*—Ensure that new entrances, when necessary to comply with other regulations, are compatible in size, scale, shape, proportion, material, and massing with historic entrances.
- iii. Glazed area*—Avoid installing interior floors or suspended ceilings that block the glazed area of historic windows.
- iv. Window design*—Install new windows to match the historic or existing windows in terms of size, type, configuration, material, form, appearance, and detail when original windows are deteriorated beyond repair.
- v. Muntins*—Use the exterior muntin pattern, profile, and size appropriate for the historic building when replacement windows are necessary. Do not use internal muntins sandwiched between layers of glass.

Standard Specifications for Replacement Windows

Consistent with the Historic Design Guidelines, the following recommendations are made for replacement windows:

- **MATERIALS:** If full window replacement is approved, the new windows must feature primed and painted wood exterior finish. Clad, composition, or non-wood options are not allowed unless explicitly approved by the commission.
- **SASHES:** Meeting rails must be no taller than 1.25". Stiles must be no wider than 2.25". Top and bottom sashes must be equal in size unless otherwise approved.
- **DEPTH:** There should be a minimum of 2" in depth between the front face of the window trim and the front face of the top window sash. This must be accomplished by recessing the window sufficiently within the opening or with the installation of additional window trim to add thickness.

- **TRIM:** Original trim details and sills should be retained or repaired in kind. If approved, new window trim must feature traditional dimensions and architecturally appropriate casing and sloped sill detail. Window track components such as jamb liners must be painted to match the window trim or concealed by a wood window screen set within the opening.
- **GLAZING:** Replacement windows should feature clear glass. Low-e or reflective coatings are not recommended for replacements. The glazing should not feature faux divided lights with an interior grille. If approved to match a historic window configuration, the window should feature real exterior muntins.
- **COLOR:** Replacement windows should feature a painted finish. If a clad product is approved, white or metallic manufacturer's color is not allowed, and color selection must be presented to staff.
- **INSTALLATION:** Replacement windows should be supplied in a block frame and exclude nailing fins. Window opening sizes should not be altered to accommodate stock sizes prior to approval.

Historic Design Guidelines, Chapter 3, Guidelines for Additions

1. Massing and Form of Residential Additions

A. GENERAL

- i. Minimize visual impact—Site residential additions at the side or rear of the building whenever possible to minimize views of the addition from the public right-of-way. An addition to the front of a building would be inappropriate.
- ii. Historic context—Design new residential additions to be in keeping with the existing, historic context of the block. For example, a large, two-story addition on a block comprised of single-story homes would not be appropriate.
- iii. Similar roof form—Utilize a similar roof pitch, form, overhang, and orientation as the historic structure for additions.
- iv. Transitions between old and new—Utilize a setback or recessed area and a small change in detailing at the seam of the historic structure and new addition to provide a clear visual distinction between old and new building forms.

B. SCALE, MASSING, AND FORM

- i. Subordinate to principal facade—Design residential additions, including porches and balconies, to be subordinate to the principal facade of the original structure in terms of their scale and mass.
- ii. Rooftop additions—Limit rooftop additions to rear facades to preserve the historic scale and form of the building from the street level and minimize visibility from the public right-of-way. Full-floor second story additions that obscure the form of the original structure are not appropriate.
- iii. Dormers—Ensure dormers are compatible in size, scale, proportion, placement, and detail with the style of the house. Locate dormers only on non-primary facades (those not facing the public right-of-way) if not historically found within the district.
- iv. Footprint—The building footprint should respond to the size of the lot. An appropriate yard to building ratio should be maintained for consistency within historic districts. Residential additions should not be so large as to double the existing building footprint, regardless of lot size.
- v. Height—Generally, the height of new additions should be consistent with the height of the existing structure. The maximum height of new additions should be determined by examining the line-of-sight or visibility from the street. Addition height should never be so contrasting as to overwhelm or distract from the existing structure.

3. Materials and Textures

A. COMPLEMENTARY MATERIALS

- i. Complementary materials—Use materials that match in type, color, and texture and include an offset or reveal to distinguish the addition from the historic structure whenever possible. Any new materials introduced to the site as a result of an addition must be compatible with the architectural style and materials of the original structure.
- ii. Metal roofs—Construct new metal roofs in a similar fashion as historic metal roofs. Refer to the Guidelines for Alterations and Maintenance section for additional specifications regarding metal roofs.
- iii. Other roofing materials—Match original roofs in terms of form and materials. For example, when adding on to a building with a clay tile roof, the addition should have a roof that is clay tile, synthetic clay tile, or a material that appears similar in color and dimension to the existing clay tile.

B. INAPPROPRIATE MATERIALS

- i. Imitation or synthetic materials—Do not use imitation or synthetic materials, such as vinyl siding, brick or simulated stone veneer, plastic, or other materials not compatible with the architectural style and materials of the original structure.

C. REUSE OF HISTORIC MATERIALS

- i. Salvage—Salvage and reuse historic materials, where possible, that will be covered or removed as a result of an addition.

4. Architectural Details

A. GENERAL

- i. Historic context—Design additions to reflect their time while respecting the historic context. Consider character-defining features and details of the original structure in the design of additions. These architectural details include roof form, porches, porticos, cornices, lintels, arches, quoins, chimneys, projecting bays, and the shapes of window and door openings.
- ii. Architectural details—Incorporate architectural details that are in keeping with the architectural style of the original structure. Details should be simple in design and compliment the character of the original structure. Architectural details that are more ornate or elaborate than those found on the original structure should not be used to avoid drawing undue attention to the addition.
- iii. Contemporary interpretations—Consider integrating contemporary interpretations of traditional designs and details for additions. Use of contemporary window moldings and door surroundings, for example, can provide visual interest while helping to convey the fact that the addition is new.

Standard Specifications for Windows in Additions and New Construction

Consistent with the Historic Design Guidelines, the following recommendations are made for windows to be used in new construction:

- **GENERAL:** Windows used in new construction should be similar in appearance to those commonly found within the district in terms of size, profile, and configuration. While no material is expressly prohibited by the Historic Design Guidelines, a high quality wood or aluminum-clad wood window product often meets the Guidelines with the stipulations listed below.
- **SIZE:** Windows should feature traditional dimensions and proportions as found within the district.
- **SASH:** Meeting rails must be no taller than 1.25". Stiles must be no wider than 2.25". Top and bottom sashes must be equal in size unless otherwise approved.
- **DEPTH:** There should be a minimum of 2" in depth between the front face of the window trim and the front face of the top window sash. This must be accomplished by recessing the window sufficiently within the opening or with the installation of additional window trim to add thickness. All windows should be supplied in a block frame and exclude nailing fins which limit the ability to sufficiently recess the windows.
- **TRIM:** Window trim must feature traditional dimensions and architecturally appropriate casing and sloped sill detail.
- **GLAZING:** Windows should feature clear glass. Low-e or reflective coatings are not recommended for replacements. The glazing should not feature faux divided lights with an interior grille. If approved to match a historic window configuration, the window should feature true, exterior muntins.
- **COLOR:** Wood windows should feature a painted finish. If a clad or non-wood product is approved, white or metallic manufacturer's color is not allowed and color selection must be presented to staff.

FINDINGS:

- a. The historic structure at 1024 N Cherry was constructed circa 1910 and is found on the 1912 Sanborn Map. The structure was constructed in the Folk Victorian style in a traditional L-plan. This structure is contributing to the Dignowity Hill Historic District. Modifications to the historic structure have occurred over time, including the installation of non-original siding, the installation of aluminum windows, and a faux stone foundation skirting.
- b. **VIOLATION/STOP WORK ORDER** – Office of Historic Preservation staff issues a stop work order on February 10, 2022, for work without a Certificate of Appropriateness. Scopes of work cited on site at that time included the construction of a rear addition, window replacement, porch modifications, and other exterior modifications.

- c. PREVIOUS REVIEW – This request was reviewed by the Historic and Design Review Commission at the June 1, 2022, HDRC hearing. At that hearing, this request was referred to a Design Review Committee site visit.
- d. DESIGN REVIEW COMMITTEE – The DRC met on site on June 8, 2022, to review the previously completed work. At that site visit, committee members noted that the front façade should be returned to its original configuration, that the front porch should be modified to feature traditional profiles, and that the siding and rear addition were appropriate.
- e. ROOF REPLACEMENT – The applicant has proposed to replace the existing, asphalt shingle roof with a new shingle roof. Staff finds the proposed in-kind replacement to be appropriate; however, staff finds that all original roof profiles and architectural elements should be preserved.
- f. FENESTRATION MODIFICATIONS – The applicant has proposed fenestration modifications that include modifying the existing, historic fenestration pattern of the historic structure by modifying existing door and window openings on the west, north and south facades. Within this request, the applicant has proposed to modify the head and sill heights, widths, opening locations, and profiles of various windows on each façade. The applicant has proposed to return the front façade to its original configuration, include door and window locations. The Guidelines for Exterior Maintenance and Alterations 6.A. note that existing window and door openings should be preserved and that new openings should not be created on the primary façade or where visible from the public right of way. Additionally, the Guidelines note that original opening should not be increased or reduced in size to fit stock window sizes. Staff finds the proposed modifications to be inappropriate and inconsistent with the Guidelines. Staff finds the original sizes, locations and profiles of all windows and doors should be restored.
- g. WINDOW REPLACEMENT – The applicant has proposed to replace the existing, non-original aluminum windows with new, black aluminum windows with faux divided lites. Staff finds the replacement of non-original windows to be appropriate provided that all windows are consistent with staff's standards for replacement windows. Staff also finds that a wood or aluminum clad wood windows would be most appropriate; however, an aluminum window may comply with staff's standards for replacement windows. Windows should not feature faux divided lites.
- h. ROOF FORM MODIFICATIONS – The applicant has proposed to modify the structure's roof form and various architectural elements that are associated with the roof that include eave details, the installation of gable returns, modifications to existing attic vents. The Guidelines for Exterior Maintenance 3.B.ii. notes that the original shape, line, pitch, and overhangs of original roof forms should be preserved. Additionally, eaves and other decorative elements should be preserved. The proposed modifications are inappropriate and consistent with the Guidelines. Staff finds that the original roof forms and attic vents should be reinstalled.
- i. PORCH FORM MODIFICATIONS – The applicant has proposed to make porch modifications including the construction of a new porch roof, a change in porch deck height, and the installation of new porch columns. The existing porch featured modified elements, including modified columns, railings and beams. Staff finds that the porch should be reconstructed, based on photographic evidence. Columns should feature six inches square with capital and base trim. Fascia and soffit details should be consistent with historic, Folk Victorian examples found within the district. The frieze board should be reinstalled at the previous profile.
- j. SIDING/TRIM MODIFICATIONS – The applicant has proposed to remove the existing, non-original siding and install composite siding with a faux wood grain finish with an exposure of approximately 8 inches as well as install composite trim with faux wood grain. The historic house previously featured a combination of aluminum siding and T-111 siding. The Guidelines for Exterior Maintenance and Alterations 1.B. notes that façade materials that are original should be preserved. When original siding is beyond repair, new siding should be in-kind with the original. Staff finds the composite siding and trim to be inappropriate and inconsistent with the Guidelines. Staff finds the historic structure should feature siding and trim with a profile that is consistent with historic Folk Victorian examples within the district.
- k. REAR ADDITION – The applicant has proposed to construct a rear addition to feature approximately 350 square feet. The proposed rear addition will feature an open air, covered porch, a front facing roof gable, composite siding and aluminum windows.
- l. REAR ADDITION – The Guidelines for Additions 1.A. notes that additions should be sited to minimize view from the public right of way, should be designed to be in keeping with the existing, historic context of the block, should feature similar roof forms, and should feature a transition to differentiate the new addition from

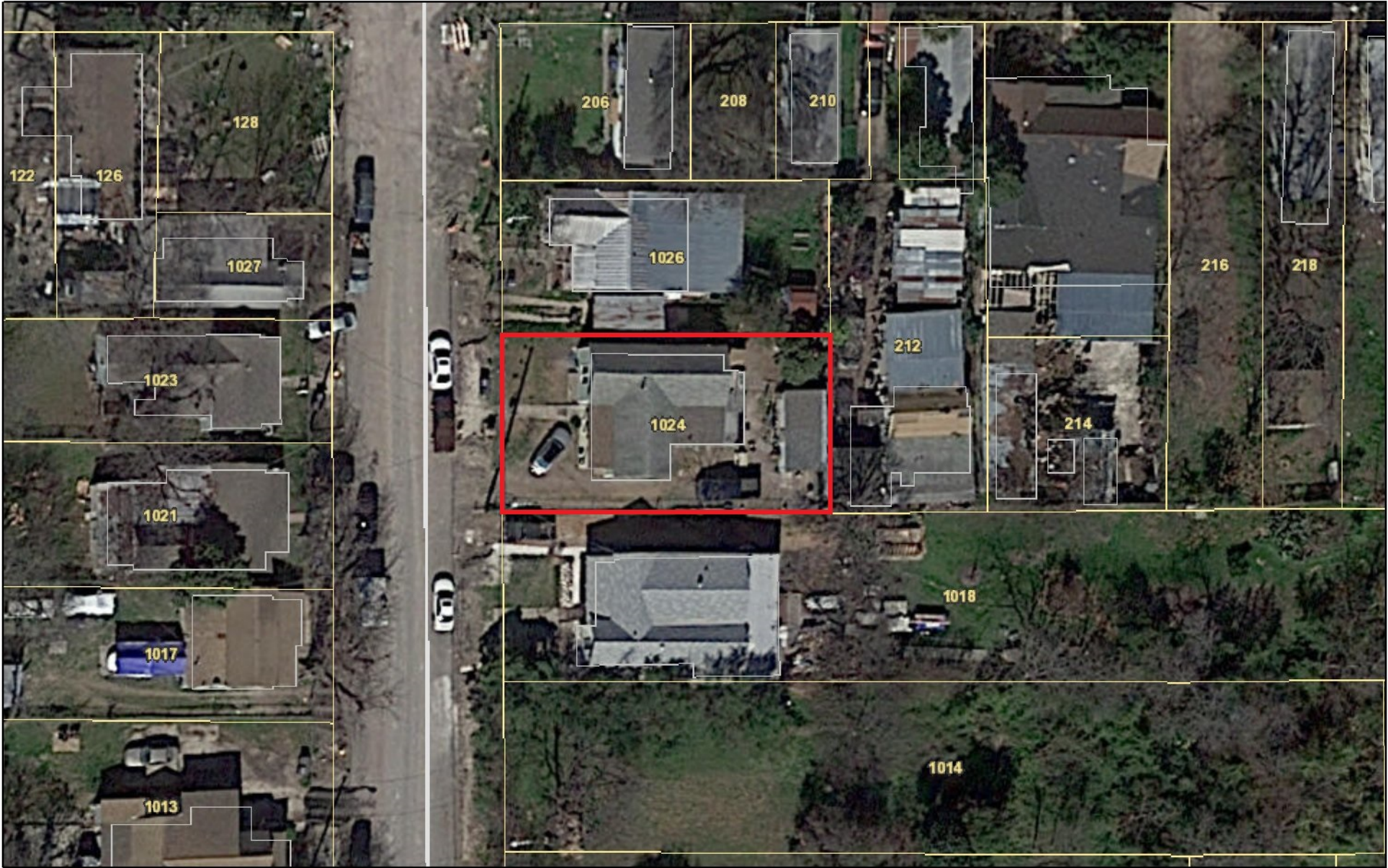
the historic structure. Additionally, the Guidelines for Additions 1.B notes that additions should be subordinate to the principal façade of the historic structure, should feature a footprint that responds to the size of the lot, and should feature an overall height that is generally consistent with that of the historic structure. The applicant has proposed an addition that does not feature a differentiating element between the historic structure and the rear addition as well as an addition that features a ridge line that is greater than that of the historic structure. Staff finds the proposed rear addition to be inconsistent with the Guidelines.

- m. REAR ADDITION (Materials) – The applicant has proposed materials for the rear addition that include composite siding, a shingle roof, and aluminum windows.
- n. ROOF FORM – The applicant has proposed for the rear addition to feature a roof that features a front facing gable and a rear gable/hip combination. The proposed roof form features a profile and overall height that are greater than that of the historic structure, resulting in a front facing gable that rises above the historic structure's ridge line. Staff finds the proposed roof form to be inappropriate and inconsistent with the Guidelines.
- o. ARCHITECTURAL DETAILS – As noted in findings i through l, staff finds that there are numerous items that are not consistent with the Guidelines, including the proposed addition's massing, roof form and materials.

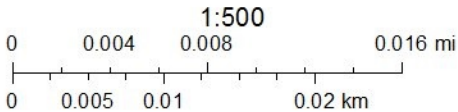
RECOMMENDATION:

1. Staff recommends approval of item #1, roof replacement, based on finding c with the following stipulation:
 - i. That all original roof forms and architectural elements be preserved.
 - ii. That the frieze board be reinstalled at the previous profile.
2. Staff does not recommend approval of item #2, modifications to the original fenestration pattern including both windows and doors, based on finding d. Staff recommends the original sizes, locations and profiles of all windows and doors be restored.
3. Staff recommends approval of item #3, replacement of the existing, non-original aluminum windows with the following stipulations:
 - i. That the replacement windows be wood or aluminum clad wood windows that are consistent with staff's standards for window replacement. The installation of aluminum windows may be appropriate; however, the proposed replacement windows are not consistent with staff's standards as they feature faux divided lites, tinted glass and are not installed at an appropriate depth.
4. Staff does not recommend approval of item #4, modifications to the historic structure's roof form based on finding f. Staff recommends that the original roof forms and attic vents be reinstalled.
5. Staff does not recommend approval of item #5, modifications to the historic structure's porch form based on finding g. Staff recommends the existing porch profile be reconstructed, based on photographic evidence. Columns should feature six inches square with capital and base trim. Fascia and soffit details should be consistent with historic, Folk Victorian examples found within the district.
6. Staff does not recommend approval of item #6, siding replacement and trim replacement with composite materials, based on finding h. Staff recommends that the historic structure feature siding and trim with a profile that is consistent with historic Folk Victorian examples within the district. Siding and trim should be wood.
7. Staff does not recommend approval of item #7, the construction of a rear addition, based on findings i through m. Staff recommends the following for the rear addition:
 - i. That the rear addition feature a setback from the walls of the historic structure or a separating element, such as a vertical trim piece.
 - ii. That the siding and trim feature a smooth profile and that siding feature an exposure of four inches.
 - iii. That windows be wood or aluminum clad wood and be consistent with staff's standards for windows in new construction and additions. An aluminum window may be appropriate should it be consistent with staff's standards.
 - iv. That the proposed addition feature a massing that is subordinate to that of the historic structures, including a reduced roof form that does not impact the primary ridge line of the historic structure. The rear addition's roof should not impact the primary, front façade of the historic structure.

City of San Antonio One Stop



May 26, 2022





CITY OF SAN ANTONIO
**OFFICE OF HISTORIC
PRESERVATION**

Historic and Design Review Commission
Design Review Committee Report

DATE: June 8, 2022

HDRC Case #: 2022-293

Address: 1024 N Cherry

Meeting Location: 1024 N Cherry

APPLICANT: Joseph Munoz

DRC Members present: Jeff Fetzer, Monica Savino, Jimmy Cervantes, Gabriel Velasquez, Lisa Garza (Conservation Society)

Staff Present: Edward Hall

Others present:

REQUEST: Construction of a rear addition, exterior modifications, fenestration modifications, porch modifications, roof form modifications, window replacement and siding modifications

COMMENTS/CONCERNS:

JM: Overview of modifications to the house: roofing, fenestration, windows, doors, etc.

LG: Questions about foundation permits and other permits.

GV: Other houses on the block inform applicants of what is appropriate.

GV: Applicant should explore elements that can be corrected.

JF: Concern about the modified eaves.

All: Discussion regarding process

GV: Questions about financial ability to complete interior project

GV: The front facade is the most important

JF: Return windows to the original sizes and locations. One over one with no faux divided lites

GV: Okay with existing wide siding with correction of front facade. Aluminum windows okay on the front facade

JC/GV: Agree to leave siding as it exists

MS: Distinguish between the original and additional

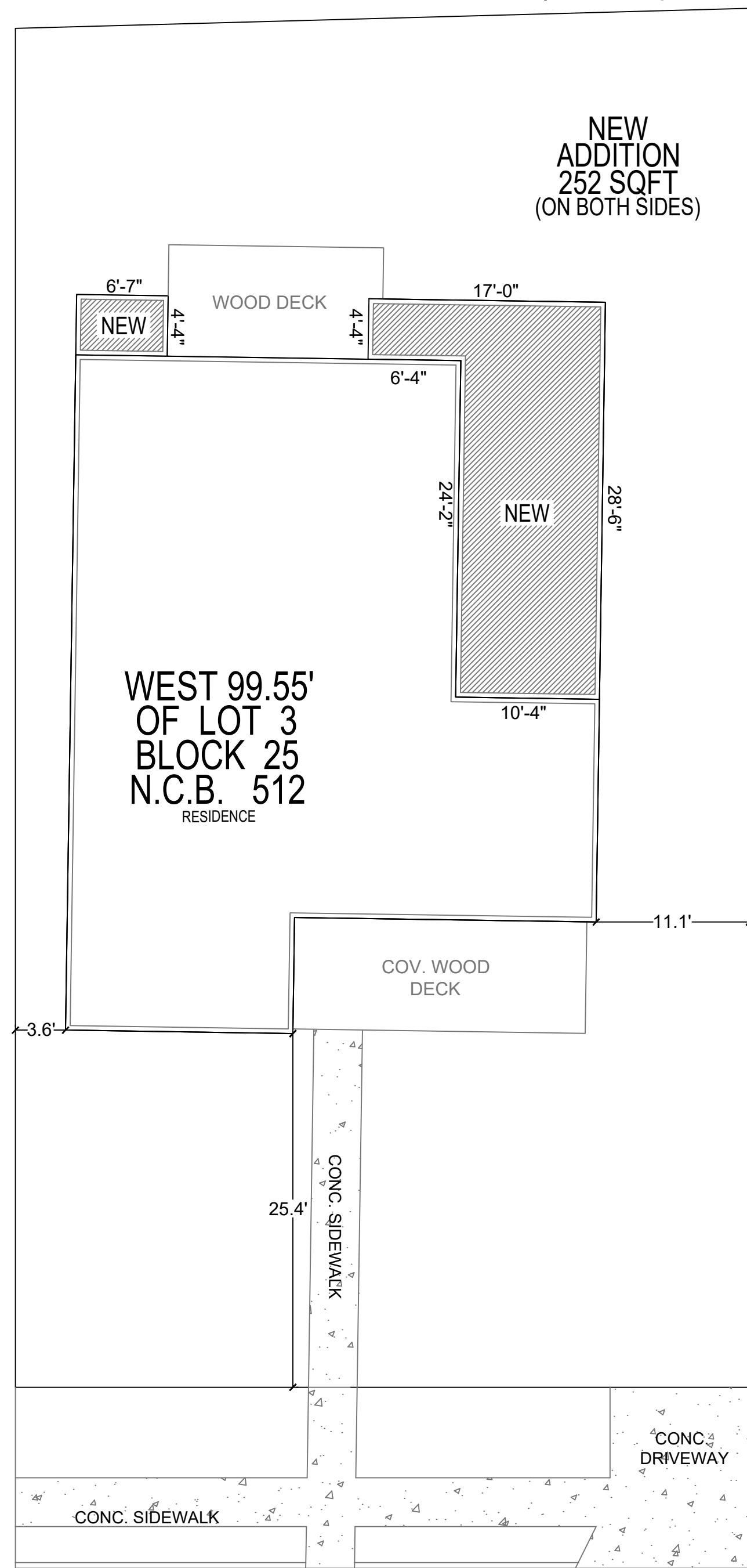
JF: Lap siding around the porch would be most appropriate.

JF: Return to original window size and location. Move door in line with sidewalk. Traditional style door.

All: No Concerns generally with the addition

OVERALL COMMENTS:

S 01° 07' 33" E 53.68' (FIELD)



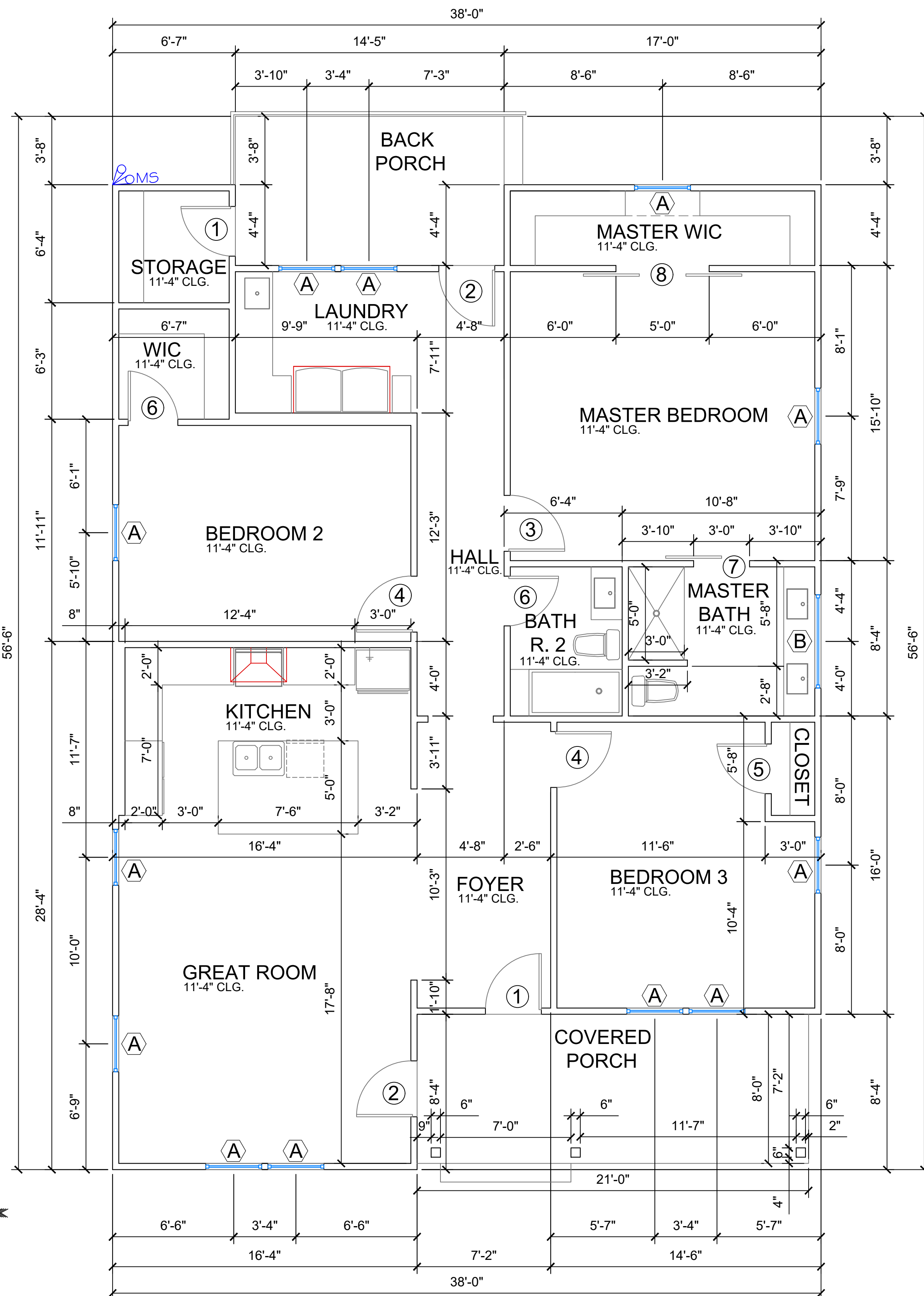
N 00° 25' 54" E 52.72' (FIELD)

1024 N. CHERRY
SAN ANTONIO, TX 78202

(55.6' R.O.W. ASPHALT PAVEMENT) (REF.)
(REF. AS: CHERRY ST.)

SITE PLAN

SCALE: $1/8" = 1'$



FLOOR PLAN

SCALE: $1/4" = 1'$

<div style="display: flex; align-items: center; justify-content: center;"> <h2 style="margin: 0;">WINDOW SCHEDULE</h2> </div>					
SYM	SIZE	TYPE	REMARK	QTY.	NOTES
A	3'-0" X 6'-0"	ALUMINUM WINDOW	PR 3060 SINGLE HUNG; HEADER @ 4'-0" AFF.	12	INSULATED GLASS
B	5'-0" X 2'-0"	ALUMINUM WINDOW	PR 5020 PICTURE W/ HEADER @ 8'-0" AFF.	1	INSULATED GLASS

NOTE: INSTALL ANDERSEN DOUBLE-HUNG WINDOW OPENING CONTROL DEVICE KIT ON ALL WINDOWS WHICH COMPLY W/ ASTM F2090 PER IRC SECTION R312.2.2



DOOR SCHEDULE

SYM	SIZE	TYPE	REMARK	QTY.	NOTES
1	3'-0" X 8'-0" X 1 3/4"	EXT FULL VIEW DOOR R.H	3080 R.H EXT FULL VIEW DR	2	INSULATED GLASS
2	3'-0" X 8'-0" X 1 3/4"	EXT FULL VIEW DOOR L.H	3080 L.H EXT FULL VIEW DR	2	INSULATED GLASS
3	3'-0" X 8'-0" X 1 3/4"	INTERIOR R.H	INTERIOR WOOD 3080 R.H DR	1	
4	3'-0" X 8'-0" X 1 3/4"	INTERIOR L.H	INTERIOR WOOD 3080 L.H DR	2	
5	2'-8" X 8'-0" X 1 3/8"	INTERIOR R.H	INTERIOR WOOD 2880 R.H DR	1	
6	2'-8" X 8'-0" X 1 3/8"	INTERIOR L.H	INTERIOR WOOD 2880 L.H DR	2	
7	B.D. 3'-0" X 8'-0" X 1 3/8"	INTERIOR	INTERIOR BARN DOOR 3080 DR	1	
8	B.D. 2'-0" X 8'-0" X 1 3/8"	INTERIOR	INTERIORS BARN DOORS 23080 INPS	1	

NOTES:

ALL FEDERAL STATE & LOCAL CODES, ORDINANCES, REGULATIONS, ETC...
FOR ALL TRADES SHALL BE CONSIDERED AS PART OF THE SPECIFICATIONS &
DRAWINGS FOR THIS BUILDING & SHALL TAKE PREFERENCE OVER ANYTHING
SHOWN, DESCRIBED OR IMPLIED WHERE VARIANCE OCCUR
SUB-CONTRACTORS SHALL VERIFY ALL CONDITIONS / DIMENSIONS IN BIDDING
ON JOB SITE, NOTIFY GENERAL CONTRACTOR / DESIGNER IMMEDIATELY OF
ANY DISCREPANCIES BEFORE BEGINNING OR CONTINUING ANY WORK
SUB-CONTRACTORS SHALL CONFORM TO RELATED DRAWINGS & SPECIFICATIONS. ALL DEVIATIONS SHALL BE GENERAL CONTRACTOR
APPROVED. THE LACK OF GENERAL CONTRACTOR APPROVAL WILL BE
SUFFICIENT CAUSE TO REFUSE ACCEPTANCE OF THE WORK
ANY ITEM OF WORK NOT SPECIFICALLY COVERED IN THE DRAWINGS &
RELATED SPECIFICATIONS SHALL BE PERFORMED IN A MANNER DEEMED
GOOD PRACTICE OF THE TRADE INVOLVED.
DO NOT SCALE DRAWINGS - FOLLOW DIMENSIONS INDICATED, DIMENSIONS
ARE: STUD - TO - STUD, STUD - TO - BRICK & BRICK - BRICK
THE FRAMING SUB-CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING
AND INSTALLING TEMPORARY SAFETY BARRIERS AND RAILS AS REQUIRED
DURING CONSTRUCTION BY O.S.H.A. AND LOCAL AUTHORITIES.

NOTES:

NOTES:
ALL BEDROOMS WINDOWS SHALL MEET INGRESS / EGRESS
REQUIREMENTS AS PER CODE
VERIFY ALL DOORS AND WINDOWS SIZE, TYPE AND
LOCATIONS W/ GENERAL CONTRACTOR

AREA:

LIVING AREA: 1,764.5 SQFT

COVERED PORCH: 168 SQFT
BACK PORCH: 115.5 SQFT

TOTAL: 2,048 SQFT

GENERAL CONSTRUCTION NOTES:

1. ALL CONTRACTORS AND TRADES SHALL VERIFY CONDITIONS AFFECTING THEIR WORK, DIMENSIONS, HEIGHTS, QUANTITIES, MATERIALS, ETC. AND SHALL COORDINATE ALL ITEMS INVOLVED INCLUDING BUT NOT LIMITED TO FINISHES, MATERIALS, PATTERNS, EQUIPMENT, PLUMBING, ELECTRICAL, MECHANICAL AND THE INTENDED QUALITY.

2. CONTRACTORS SHALL SUPPLY ALL LABOR MATERIALS SCAFFOLDING APPARATUS, EQUIPMENT, TOOLS, SECURITY, TEMPORARY POWER AND LIGHTING, AS WELL ASS ALL NECESSARY PERMITS, LICENSES, INSURANCE, TAXES , FEES AND BONDS FOR THE ENTIRE AND PROPER EXECUTION AND COMPLETION OF THE WORK. CONTRACTORS SHALL BE SOLELY RESPONSIBLE FOR THE SAFE AND PROPER AND LAWFUL USE AND MAINTENANCE OF SAME.

CONTRACTORS SHALL FURTHER PERFORM IN THE MOST COMPLETE AND BEST WORKMANLIKE MANNER ALL WORK COVERED WITH THESE DOCUMENTS, PROPERLY INCIDENTAL THERETO OF REASONABLY IMPLIED INCLUDING ALL MECHANICAL AND ELECTRICAL WORK.

3. ALL BIDS SHALL QUALIFIED IF NECESSARY TO REFLECT THE INTEND AND REQUIREMENTS OF THESE PLANS AND ALL CLARIFICATION ITEMS DISCUSSED WITH OWNER AND AGREED TO BE FURNISHED. SUBMIT ADEQUATE SUPPLEMENTAL BID DATA AND SCHEDULE OF VALUE TO OWNER TO SUBSTANTIATE BIDS AND ALL PRICES. THE PARTIES MAY ELECT TO REVIEW AND CLARIFY SPECIFIC ITEMS PRIOR TO ENTERING AN AGREEMENT.

4. ALL SUPPLEMENTARY ITEMS, TRIMS, MOLDINGS, FITTING GROUNDS, ANCHORS, CAULKING, SEALANTS, WATERPROOFING, FRAMING, CONNECTIONS, BLOCKING, FORMING, ETC., NECESSARY TO PROPERLY EXECUTE EACH ITEM OF WORK SHALL BE PROVIDED IN A COMPLETE MANNER BY CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER, IF REASONABLY IMPLIED AND IS A COMMON TRADE PRACTICE FOR SUPERIOR WORK IN THIS AREA.

5. COORDINATE AND CLARIFY WITH OWNER ALL ALLOWANCE, CONTINGENCIES, POTENTIAL EXTRAS AND OPTIONAL ITEMS WITH BID SUBMITTAL. SUBMIT A LIST OF EQUIPMENT, FIXTURES, MATERIALS, TRIM, ETC., PROPOSED THAT NOT IS CLEARLY SPELLED OUT IN PLAN AND SPECS TO OWNER FOR APPROVAL PRIOR TO CONSTRUCTION.

6. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH CITY BUILDING CODE REQUIREMENTS, NATIONAL ELECTRIC CODE AND BEST TRADE PRACTICES.

7. SUBMIT PLAN TO ARCHITECTURAL CONTROL COMMITTEE FOR APPROVAL (OR VERIFY APPROVAL HAS BEEN OBTAINED) IF APPLICABLE. NOTIFY OWNER OF BUILDING PERMIT "NOTATIONS" AND RELATED INSPECTOR PROBLEMS DURING CONSTRUCTION. VERIFY THAT ALL PERMITS HAVE BEEN PROPERLY OBTAINED.

8. FOUNDATION CONTRACTOR MUST COORDINATE FOUNDATION DRAWINGS WITH ARCHITECTURAL PLANS OF THE JOB. GENERAL CONTRACTOR SHALL MAKE SURE THIS IS DONE SPECIALLY DROPS, LUGS, DIMENSIONS, CURBS, WATERPROOFING, GRADES, ETC. MASONRY LUGS WILL BE LOWERED TO A DESIGNATED MAXIMUM DISTANCE ABOVE FINISH GRADES AND MUST BE "DROPPED" AS REQUIRED.

GENERAL PLANS NOTES:

1. CONTRACTOR TO VERIFY ALL DIMENSIONS AND GRADE PRIOR TO CONSTRUCTION AND NOTIFY ARCHITECT/DESIGNER OF ANY DISCREPANCIES. DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD UNLESS STATED OTHERWISE.
2. ALL EXTERIOR WALLS TO BE 2X4 CONSTRUCTION AT 16" O.C. ALL INTERIOR WALLS TO BE 2X4 AT 16 O.C. UNLESS OTHERWISE NOTED, (ALL SOUTHERN YELLOW PINE #2 MIN.)
3. ALL INTERIOR GYP BD. CEILING TO BE 5/8" AS SPEC. ALL GYP BD. WALLS TO BE 1/2" GYM BD., TAPE, FLOAT, TEXTURE AND PAINT UNLESS NOTED OTHERWISE, BASE BID ICI PAINT. BASE BID I COAT OF PRIMER AND TWO FINISH COATS.
4. CONTRACTOR TO PROVIDED WATERPROOF CEMENT BACKER BOARD AT ALL WET AREAS.
5. ALL CONSTRUCTION SHALL CONFORM TO ALL BUILDING CODES AND REGULATIONS, CITY ORDINANCES AND OSHA SAFETY STANDARDS.

A-1

SITE PLAN & FLOOR PLAN

OWNER: JOSEPH MUNOZ

REVISIONS:

DATE: MAY / 2022

NEW ADDITION

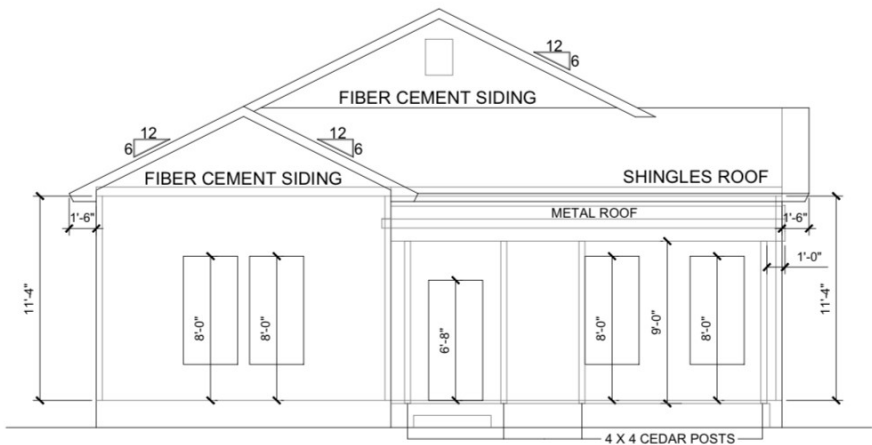
1024 N. CHERRY
SAN ANTONIO, TX 78202

H.D. DESIGN & CONSTRUCTION

210.872.7072

hd.design24@gmail.com

REVISED FRONT ELEVATION TO ADDRESS COMMENTS RECEIVED AT THE DRC
SITE VISIT ON JUNE 8, 2022.



FRONT ELEVATION
SCALE: 1/4" = 1'

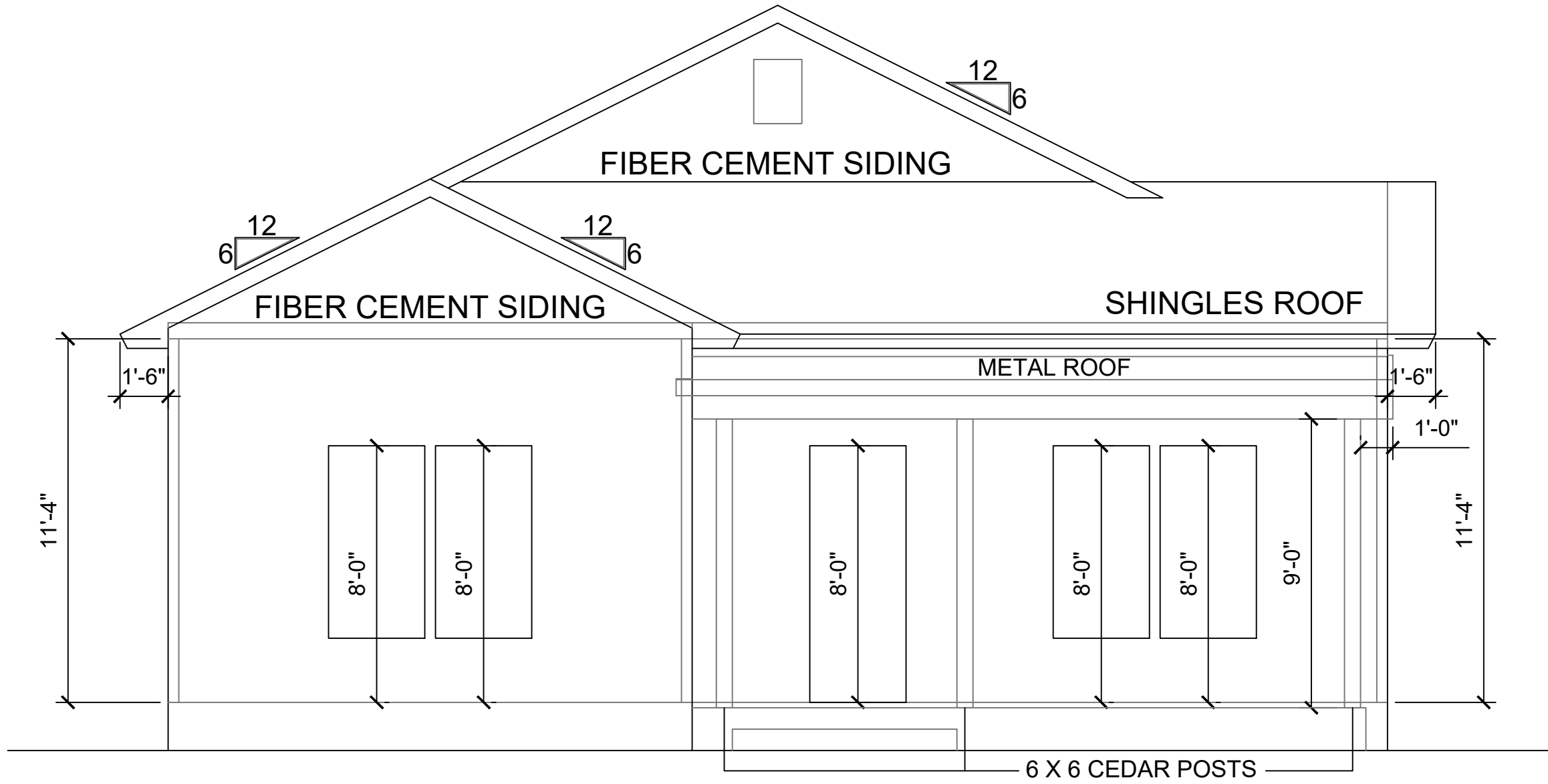
NEW ADDITION

1024 N. CHERRY
SAN ANTONIO, TX 78202

DATE: MAY / 2022

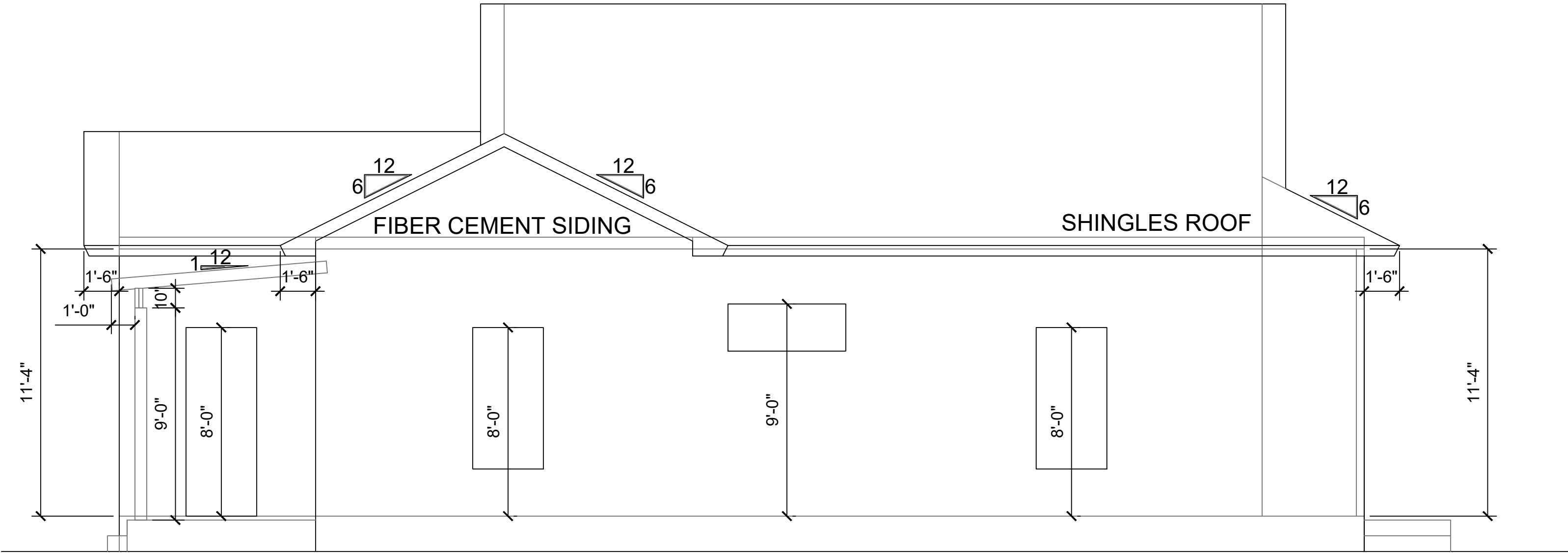
REVISIONS:

OWNER: JOSEPH MUNOZ



FRONT ELEVATION

SCALE: 1/4" = 1'



RIGHT ELEVATION

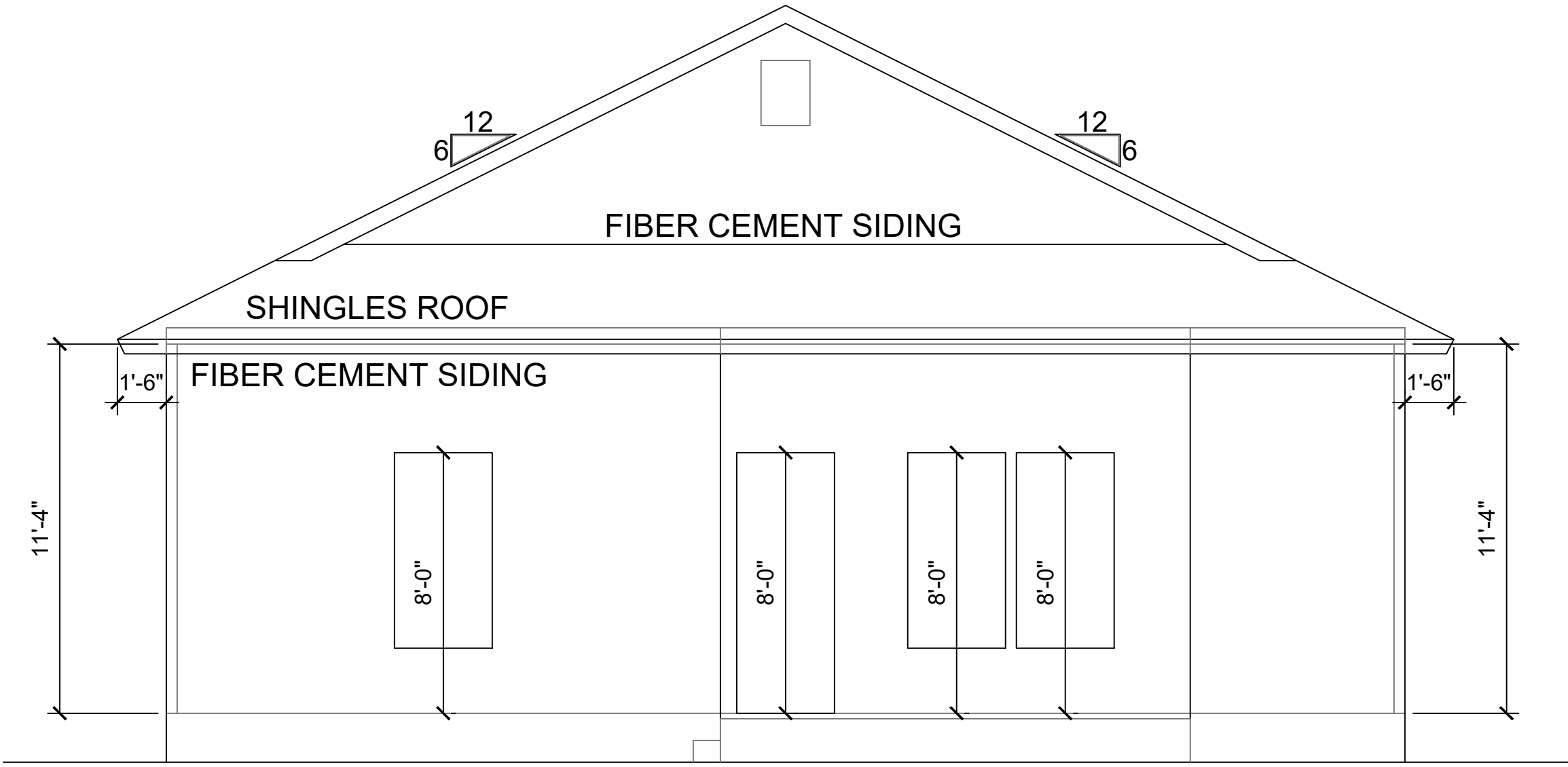
SCALE: 1/4" = 1'

NEW ADDITION
1024 N. CHERRY
SAN ANTONIO, TX 78202

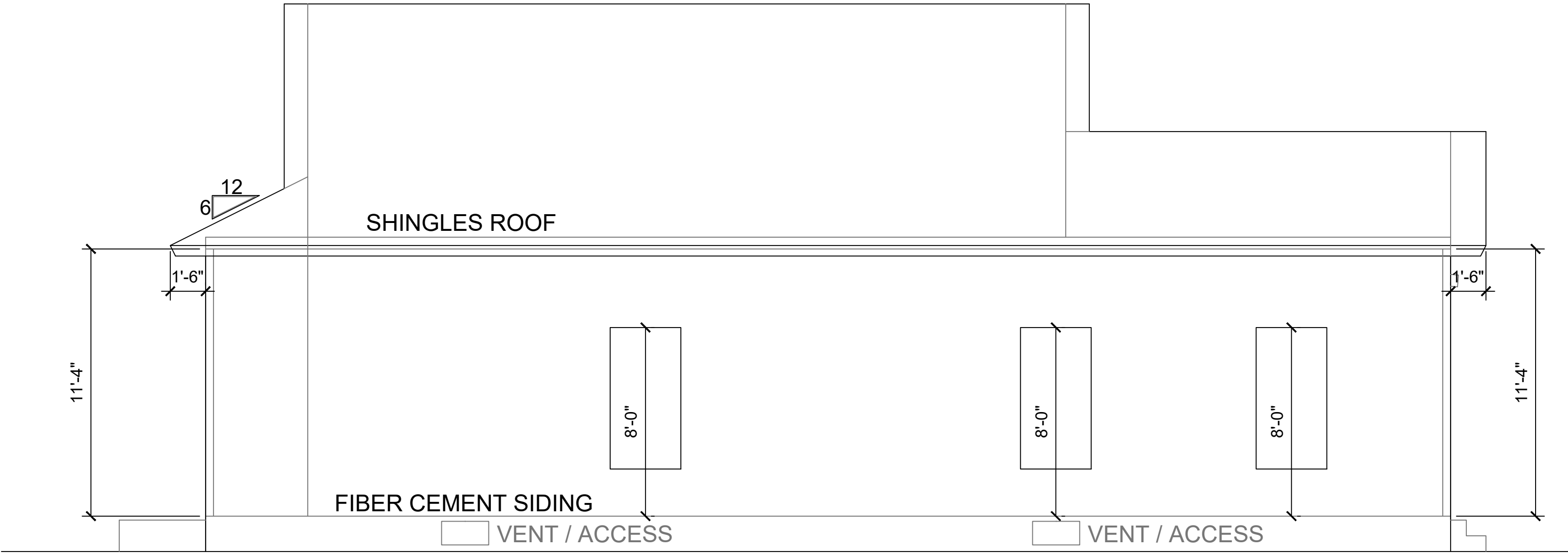
DATE: MAY / 2022

REVISIONS:

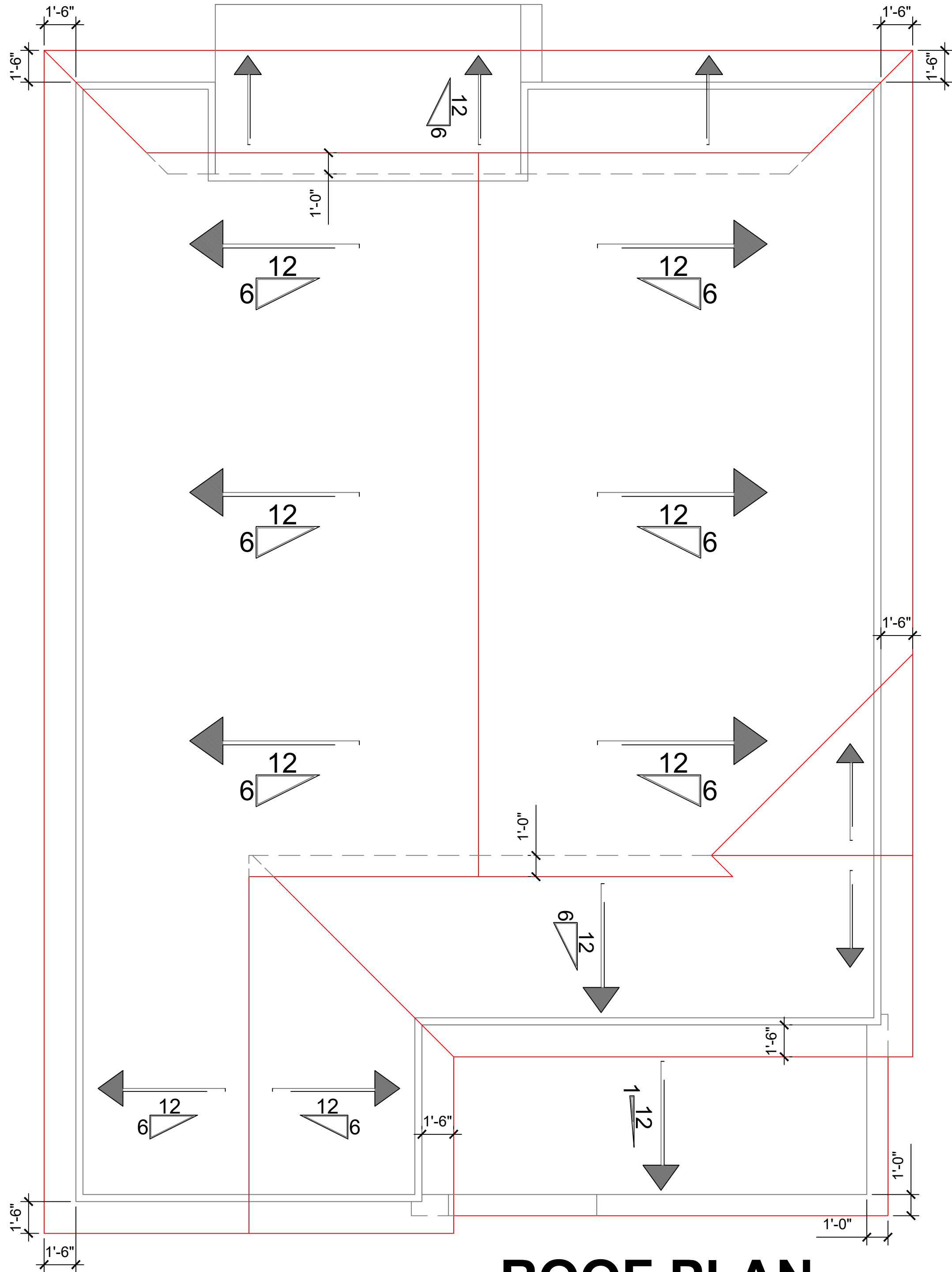
OWNER: JOSEPH MUNOZ



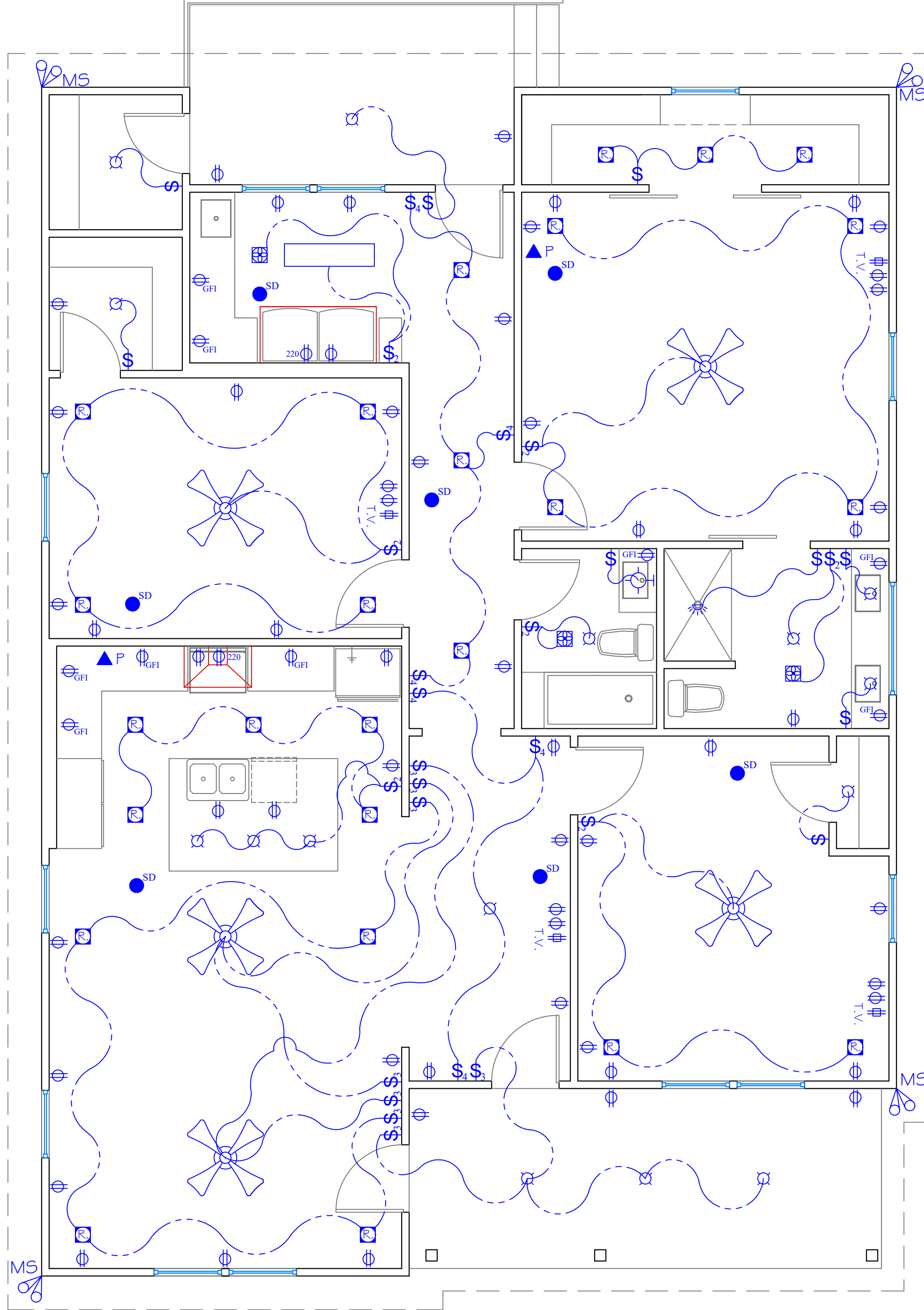
REAR ELEVATION
SCALE: 1/4" = 1'



LEFT ELEVATION
SCALE: 1/4" = 1'



ROOF PLAN
SCALE: 1/4" = 1'



ELECTRIC PLAN
SCALE: 1/4" = 1'

ELECTRICAL NOTES:

1. ALL GARAGE AND EXTERIOR PLUGS AND LIGHT FIXTURES TO BE ON GFCI CIRCUIT.
2. ALL KITCHEN PLUGS AND LIGHT FIXTURES TO BE ON GFCI CIRCUIT.
3. PROVIDE A SEPARATE CIRCUIT FOR MICROWAVE OWNER VERIFIED.
4. PROVIDE A SEPARATE CIRCUIT FOR PERSONAL COMPUTER.VERIFY ALL ELECTRICAL LOCATIONS WITH OWNER.
5. VERIFY ALL ELECTRICAL LOCATIONS WITH OWNER.
6. EXTERIOR SPOTLIGHTS TO BE ON PHOTO-ELECTRIC CELL W/ TIMER.
7. ALL RECESSED LIGHTS TO EXTERIOR CEILINGS TO BE INSULATED COVER RATED.
8. ELECTRICAL OUTLET PLATE GASKETS SHALL BE INSTALLED ON RECEPTACLE, SWITCH, AND ANY OTHER BOXES IN EXTERIOR WALL.
9. PROVIDE THERMOSTATICALLY CONTROLLED FAN IN ATTIC WITH MANUAL OVERRIDE (VERIFY LOCATION W/ OWNER.)
10. ALL FANS TO VENT TO OUTSIDE AIR. ALL FAN DUCTS TO HAVE AUTOMATIC DAMPERS.
11. HOT WATER TANKS TO BE INSULATED TO R-11 MINIMUM.
12. INSULATE ALL HOT WATER LINES TO R-4 MINIMUM. PROVIDE AN ALTERNATE BID TO INSULATE ALL PIPES FOR NOISE CONTROL.
13. PROVIDE 6 SQ.FT. OF VENT FOR COMBUSTION AIR TO OUTSIDE AIR FOR FIREPLACE CONNECTED DIRECTLY FIREBOX PROVIDE FULLY CLOSEABLE AIR INLET.
- 14.ALL SMOKE DETECTORS SHALL BE ELECTRICALLY INTERCONNECTED, SO THAT IF ONE GOES INTO ALARM, ALL GO INTO ALARM.

NOTE: ALL ELECTRICAL INSTALLATIONS AS PER 2017 NEC

ELECTRICAL LEGEND:

	WIRLESS DOORBELL		SMOKE/CARBON MONOXIDE DETECTOR
	ELECTRIC DOOR OPENER		WALL MOUNTED LIGHTS
	DOORBELL CHIME		CABLE T.V. OUTLET
	WALL-MOUNTED CIRCUIT BREAKER		PERSONAL COMPUTER CONNECTION
	SWITCHES LEG		THERMOSTAT
	FAN & LIGHT		MOTOR
	YARD LIGHT		SINGLE-POLE SWITCH
	DUPLEX CONVENIENCE OUTLET (WALL OUTLET)		DOUBLE-POLE SWITCH
	GROUND-FAULT CIRCUIT & WEATHERPROOF OUTLET		THREE WAY SWITCH
	GROUND-FAULT INTERRUPTER/ RECEPTACLE CIRCUIT		FOUR WAY SWITCH
	RANGE OUTLET		CEILING-MOUNTED LIGHT
	220-VOLT OUTLET		WATER LIGHT
	MOTION SENSOR LIGHT		WALL-MOUNTED LIGHT
	PHONE		WATER PUMP
	RECESSED LIGHTS		FLOOD LIGHTS
	ELECTRIC METER		CEILING SURFACE-MOUNT FLOURECENT LIGHT
	WALL MOUNTED SMOKE DETECTOR		FAN
	INDIRECT LIGHTS		ELECTRIC PANEL

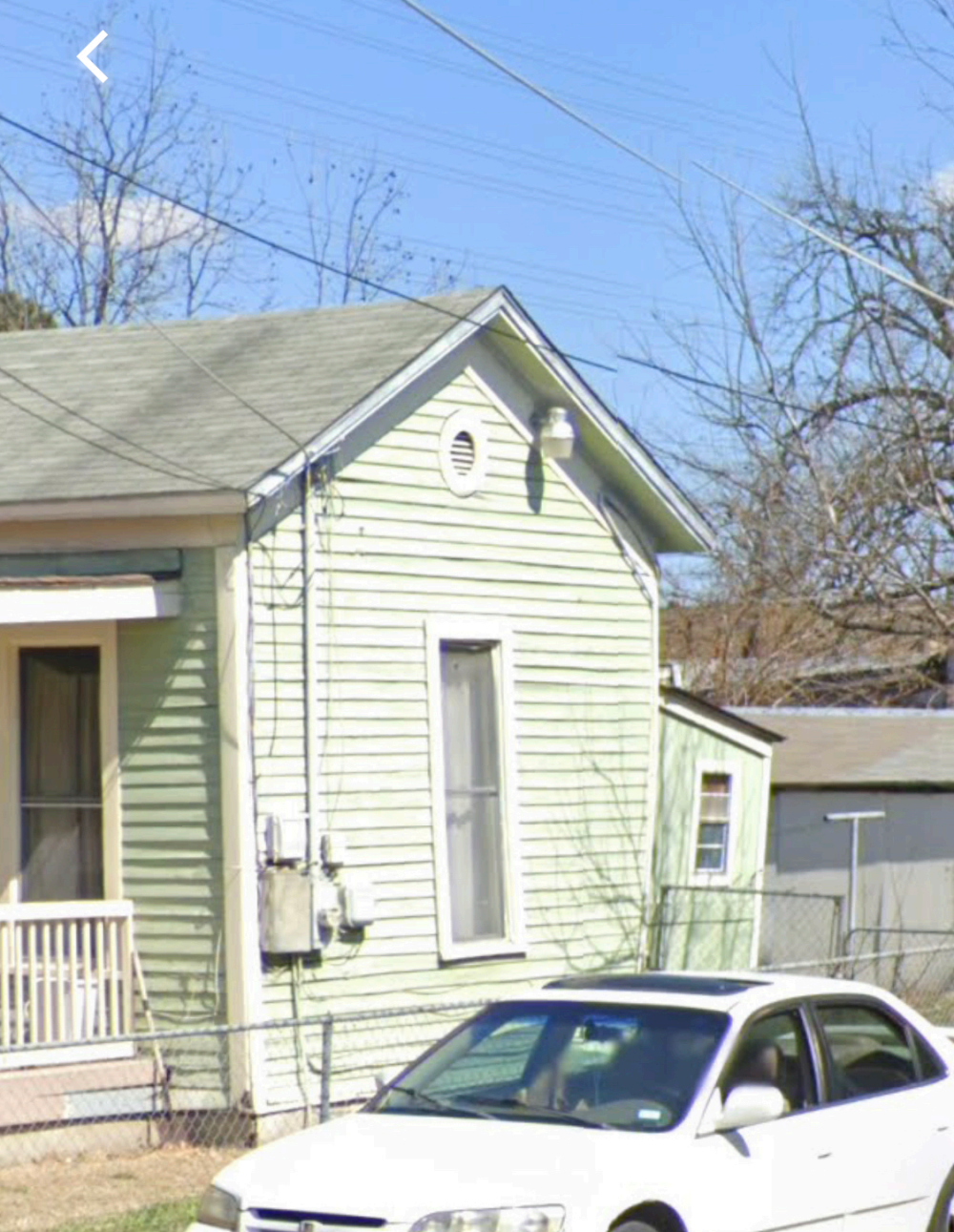
DATE: MAY / 2022

REVISIONS:

OWNER: JOSEPH MUNOZ















Investigation Report

Property

Address	1024 N Cherry
District/Overlay	Dignowity Hill
Owner Information	Joseph Munoz

Site Visit

Date	02/10/2022
Time	11:54 AM (-6 GMT)
Context	drive-by
Present Staff	Edward Hall
Present Individuals	Contractor(s)
Types of Work Observed	Exterior Maintenance and Alterations, Additions
Amount of Work Completed	75%
Description of work	Construction of a rear/roof addition, roof modifications, front porch modifications, window replacement, siding replacement, removal of architectural details, rear deck construction.
Description of interaction	OHP staff spoke with a framer on site, who contacted the property owner and informed him of the stop work order.

Action Taken

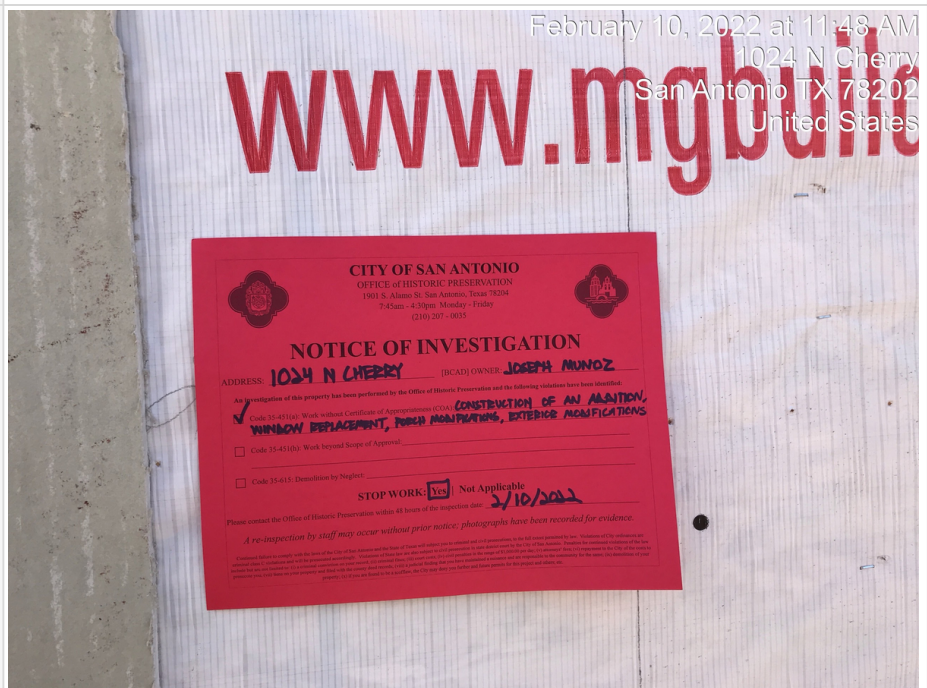
Violation Type	No Certificate of Appropriateness (Code 35-451a)
OHP Action	Spoke with contractor(s), Posted "Notice of Investigation", Posted additional "Stop Work Notice"
Will post-work application fee apply?	Yes

Documentation



Investigation Report

Photographs





Investigation Report





Investigation Report



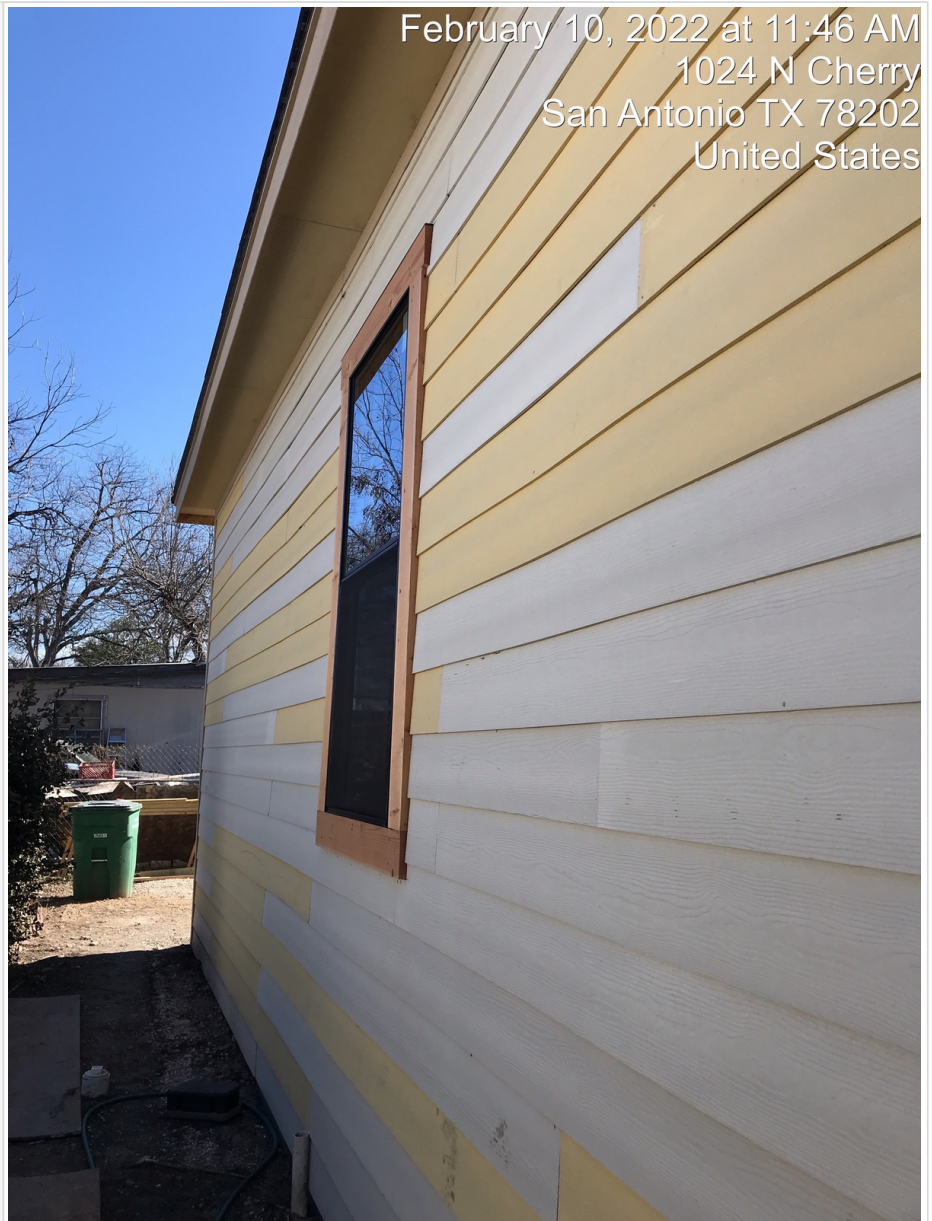


Investigation Report





Investigation Report





Investigation Report





Investigation Report



February 10, 2022 at 11:46 AM
1024 N Cherry
San Antonio TX 78202
United States



Investigation Report





Investigation Report





Investigation Report



02/10/2022 11:56 AM